

# Home Buyer Survey

Benchmarked to Level 2 RICS Home Survey Standard June 2020

Property address: Property

PHOTO

**Client:** Client (see Copyright Notice on page 5)

**Surveyor:** John Brownlow MRICS FISVA

**Date of inspection:** 20<sup>th</sup> April 2023

**Date of report:** 25<sup>th</sup> April 2023

**Report reference:** 23/\*\*\*\*



*Repair*



*Maintain*



*Protect*

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## Condition Ratings and Symbols

To help describe the condition of the property we use a “RAG” (Red, Amber, Green) system to give Condition Ratings to the main parts (the ‘elements’) of the building, garage and external areas. Some elements can be made up of several different parts.

In the Element Sections of parts F, G, H and I we usually describe the part that has the worst Condition Rating (CR) first and then outline the condition of the other parts. The Condition Ratings appear at the end of each Section and are described below. **A Summary of the Elements given a CR3 is given in Section C (Overall Opinion).**

**CR3** – the Building Element requires repair that is considered to be serious and/or urgent and/or in respect of which further investigation is considered appropriate. **Important note: a CR3 does not necessarily mean that expensive repair is required, there may only be a minor maintenance issue (such as a loose chimney flashing letting water into the roof void) but it is applied if an Element requires urgent repair and/or further investigation. In relation to some of the Services Installations (Electricity, Gas and Heating – “services that can kill”) a CR3 will be applied by default if the Surveyor does not have sight of current test certificates and/or service records at the time of inspection or prior to the report being completed.**

**CR2** – the Building Element requires repair but the works are not considered to be serious or urgent and can be undertaken as part of routine maintenance.

**CR1** – the Building Element is considered to be in a satisfactory state of repair **taking into account the building materials and the age of the building** and no immediate or short-term maintenance is required.

**Not inspected** – it was not possible to inspect this building element on the day of the survey.



This symbol indicates that there is a Health and Safety issue even though the Building Element may not require repair in itself (**for example:** a door with a glass panel where the door opens and closes satisfactorily but the glazing is not of toughened glass).

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## Appendices

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## A. Introduction

This **Level 2 Home Buyer Survey** is for clients who are seeking a professional opinion at an economic price. It is, therefore, more detailed than a Level 1 service but less comprehensive than a Level 3 (see further information at Appendix A or <https://www.edwardsgenesis.co.uk/page/our-services>). **Where possible we will exceed the minimum standards required by the RICS Home Survey Standards 2020 in the areas highlighted below:**

The focus of a **Level 2** report is on assessing the general condition of the main elements of a property. This intermediate level of service includes a more extensive visual inspection of the building, its services and grounds than a Level 1 Condition Report, but still without tests (we will, where possible, turn on taps, flush toilets and run water through drainage chambers). Concealed areas normally opened or used by the occupiers are inspected if it is safe to do so (typical examples include roof spaces, basements and cellars). (We will, where possible, inspect sub-floor voids although physical entry will only be undertaken if the surveyor judges it to be safe). The report objectively describes the condition of the different elements and provides an assessment of the relative importance of the defects/problems. At this Level, although it is concise, the report does include advice about repairs and any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigations should be made. This level of service suits a broader range of conventionally built properties, although the age and type will depend on the knowledge and experience of the RICS member. This level of service is unlikely to suit:

- complex buildings, for example those that have been extensively extended and altered
- unique or older historic properties – although Survey Level 2 services may be appropriate for some older buildings, the decision will depend on the RICS member’s proven competence and knowledge and the nature of the building itself. For example, a Survey Level 2 report on homes with traditional timber frames or those built much before 1850 is likely to be inconclusive and be of little use to the client or
- properties in neglected condition.

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## B. The Inspection

### Surveyor's name and RICS number

John Brownlow MRICS FISVA, Chartered Surveyor & RICS Registered Valuer - 0067901

### Instructions

Further to your instructions and our confirmation e-mail (or letter) I have now inspected the subject property and my Report follows.

**The agreed Terms of Engagement are at Appendix A.**

### Conflict of interest/disclosure

Having checked our database and made other reasonable enquiries we confirm that to the best of our knowledge and belief we have no conflict of interest in carrying out these instructions.

### Date and extent of inspection

The property was inspected on 20<sup>th</sup> April 2023. My inspection was undertaken in accordance with the agreed **Terms of Engagement**.

### Weather conditions

The weather at the time of my inspection was dry and sunny but there had been some wet and windy weather over preceding weeks.

### Occupation

The property was owner occupied and fully furnished. Nearly all floor areas were close covered, some by rigid materials. The vendors advised that they have owned and occupied the property for 31 years.

### Handings

Unless otherwise stated, the terms "right, left, front and rear" apply throughout as if the property is viewed from the named road frontage.

***Important note:*** We carry out only a visual inspection. This means that we do not take up carpets, floor coverings or floorboards, move furniture or remove the contents of cupboards. Also, we do not remove secured panels or undo electrical fittings.

*We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the aid of binoculars and/or a camera on a telescopic pole. If necessary, inspection will be carried out from land in third party ownership if the owner's permission can be obtained.*

*We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces*

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*and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We are not able to assess the condition of the inside of any chimney, boiler or other flues.*

*We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.*

*We will make recommendations as to how defects may be repaired where we are able to do so but we do not report on the likely costs and you should obtain quotations and estimates (in some cases further investigations may be required) from appropriate contractors before you commit to purchase. Some maintenance and repairs we suggest may be expensive.*

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## C. Overall Opinion including a Summary of the Building Elements given a Condition Rating (CR) 3

*The Surveyor will state his/her overall opinion of the property and will highlight any major repairing, legal or other issues that will be discussed in greater detail later in the report. Whilst you may find it informative to read this Section first it only provides a general “overview”. You should read and consider all parts of the report and so understand the Overall Opinion in the context of the property as a whole.*

### Overall Opinion

**Property** is considered to be a reasonable proposition for purchase, it comprising a typical early post-war semi-detached house that was originally of modest proportions but there is an old double-storey rear extension across the full width of the house. This extension has a flat roof. Overall, the property is in satisfactory condition for one of its age and type although there are some immediate and short-term repairing liabilities for which you will need to budget including early replacement of the flat roofs to both the extension and a large outbuilding. There are also some health and safety issues for you to consider and you should ensure there are up to date test and service certificates in place in respect of the electrical, gas and heating installations **prior to purchase**.

**The following Building Elements have been given a CR3**

F4 – Rainwater goods

H1 – Electricity

H2 – Gas

H4 and H5 – Heating and hot water

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## **D. Summary of Health & Safety issues**

This summarises the Sections of the Report within which I raise concerns over risks to the Health & Safety of occupiers of and visitors (including contractors who may undertake repair and other works) to the property.

F6 – Doors

F7 – Windows

G8 - Staircase

H1 – Electricity

H2 – Gas

H4 and H5 – Heating and hot water

I2 – Outbuilding

I3 - Grounds

I also note the following potential risks (if any) to the building(s) and grounds.

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## E. The Property

### The property

Property

### Description – type of property and intended use

A semi-detached house being purchased for owner occupation.

### Approximate year built

A neighbouring owner advised that these houses were built in 1948.

### Approximate year the property was extended and/or converted and/or altered (if applicable)

Not known. The vendors advised that the rear extension and the detached storage/workshop/utility outbuilding in the rear garden were constructed by previous owners, probably in the early 1990s. Your Legal Adviser should check whether there is any record of planning and Building Regulations approvals having been obtained (Section L1).

*Notes: Structures such as porches, conservatories and sun lounges are often insubstantial and may have poorer standards of design, construction and performance than the main building. They are, therefore, covered separately under Section F8 and/or Section I2. Your legal adviser should check that any works that are identified in this Section received relevant Local Authority planning consents and Building Regulations approvals and, if the property is held Leasehold, that the approval of the owner of the Freehold interest also issued consents if necessary. You should also note that the Council Tax banding of the property, on which annual rates payable to the Local Authority are based, can be revised on a change of ownership and you may wish to check with the Valuation Office Agency (VOA) whether any past extensions and alterations are included in the current Council Tax banding. If there are modern extensions, alterations or other building works you should ask the property owners if they can supply copies of construction drawings, plans etc as, whilst noting that construction on site may not always match that on the drawings, these can give useful information on hidden details (insulation, steelwork, drainage connections etc) and materials used.*

### Location

The property stands in an elevated position on the south east side of Road.

### Facilities

The surrounding built up area offers a reasonable range of everyday amenities and there are good road connections allowing for fairly easy access to \*\*\*\* town centre and the motorway network. There is also close proximity to open moorland countryside.

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### Local environment

Surrounding development is predominantly mixed age and style residential but there are some nearby commercial users and \*\*\*\* is a former coal mining town with a history of industrial activity. The vendors advised that they are not aware of any issues with Japanese Knotweed (see enclosed *Japanese Knotweed Reference Sheet*) within their grounds or the immediate surroundings although there are large areas of Japanese Knotweed nearby particularly bordering the main A\*\* Road.

### Summary of construction

Elevations of cavity brick with the upper front and side elevations having a render finish. The original pitched roof is framed in timber and covered in profiled concrete interlocking tiles. The rear extension has a flat roof of timber covered in mineral felt and there is also a small area of flat roof of timber covered in lead on the front two storey bay window. Floors are of suspended timber joist and board construction.

### Accommodation – brief summary

**Ground floor:** Open entrance vestibule  
 Inner hallway/staircase  
 Front living room  
 Extended rear dining room  
 Extended kitchen

**First floor:** Landing  
 Four bedrooms  
 Bathroom/wc

**Outside:** The property stands on a modest size plot, which rises quite steeply from the road frontage and then levels out to the rear. There are garden areas to front and rear interconnected by a rather narrow side footpath and this will make routine maintenance of the side parts of the building rather more awkward. The rear garden has a large detached outbuilding. There is no space for off-road parking.

### Floor area(s)

Without having undertaken a detailed measured survey of the property I calculate the Gross External Floor Area of the living accommodation to be 119.6 square metres or thereabouts. This includes the open entrance vestibule.

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### Services

All mains services (electricity, gas, water and drainage) are connected to the property.

### Non-mains services (if any)

Not applicable.

### Heating

The property has a gas central heating system and this provides direct hot water by way of a combination boiler.

### Other services or energy sources including renewables

None.

### Notes:

*If you have proposals to extend or alter the property you may need Local Authority approvals and guidance on planning and Building Regulations matters can be found here <https://www.planningportal.co.uk/> and here <https://www.labc.co.uk/homeowners/do-i-need-building-regs-application>*

*If you are intending to let the property to tenants you will need to ensure that you comply with all statutory liabilities (<https://www.gov.uk/renting-out-a-property>) and you should consult with an experienced letting agent (<https://www.arla.co.uk/>) in this regard.*

*Since 2010 Building Regulations may be necessary if major works are undertaken to a “thermal element” – such as a roof, external wall or floor – and this will cover, for example, replacement of a roof covering even if you re-use the existing slates; the roof is a “thermal element” [https://www.planningportal.co.uk/info/200130/common\\_projects/47/roof/6](https://www.planningportal.co.uk/info/200130/common_projects/47/roof/6)*

*Additional planning controls will apply if the property is a “listed” building and/or in a Conservation Area or National Park.*

*If the property is held Leasehold then your legal adviser will need to check the Lease terms and whether any Freeholder’s consents (for which a fee may be payable) are required for extensions and alterations.*

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## F. External Elements

### Limitations to inspection

Some of the high-level parts of the building, including the flat roofs, are difficult to see from ground level but inspection was undertaken using a Go Pro camera on a telescopic pole.

### F1 Chimneys and vertical flues

The chimney stacks that originally rose over the side roof eaves, and where external chimney breasts remain, have been removed and replaced with metal gas flues (see photo on page 15) but these are not presently in use. A modern metal flue serving the central heating boiler (Section H4) rises through the rear roof slope (see photo on page 14) and appears to be in satisfactory condition. **CR1**

### F2 Pitched roofs – structure and coverings

The roof is pitched from front to rear with a side hip (see photo on page 14). Roof slopes are free from any undue sagging or undulation. The original clay tiles, as remain on a few similar houses nearby, have been replaced with profiled concrete interlocking tiles. The vendors advised that this work was undertaken in 1995 and Building Regulations approvals (Section L1) should have been obtained. The tiles remain in satisfactory condition although there is some moss growth and this should be carefully removed from time to time as part of routine maintenance. There is nothing to indicate that the roof covering will not function effectively for a good number of years if it is properly maintained and replacement tiles of this type are readily available for whenever occasional repairs are required. **CR2 – limited inspection.**

### F3 Flat roofs (see photos on page 14)

#### Extension

This large roof area is of flat timber construction covered in mineral felt, which the vendors advised has never been replaced during their ownership although they do have it treated with a solar-reflecting paint finish every few years. I noted nothing to indicate that the roof is not weathertight at present but it clearly has a limited fall and this will allow rainwater to pond and there is extensive surface crazing. The felt covering is beyond its normal life expectancy and it will inevitably fail before too long. I strongly recommend that you budget for its early replacement, ideally using something more durable such as fibre glass or a rubberised membrane, and this should include replacement of the timber decking and an upgrade, if necessary, of the thermal insulation. Building Regulations approvals will be required. **CR2 – limited inspection**

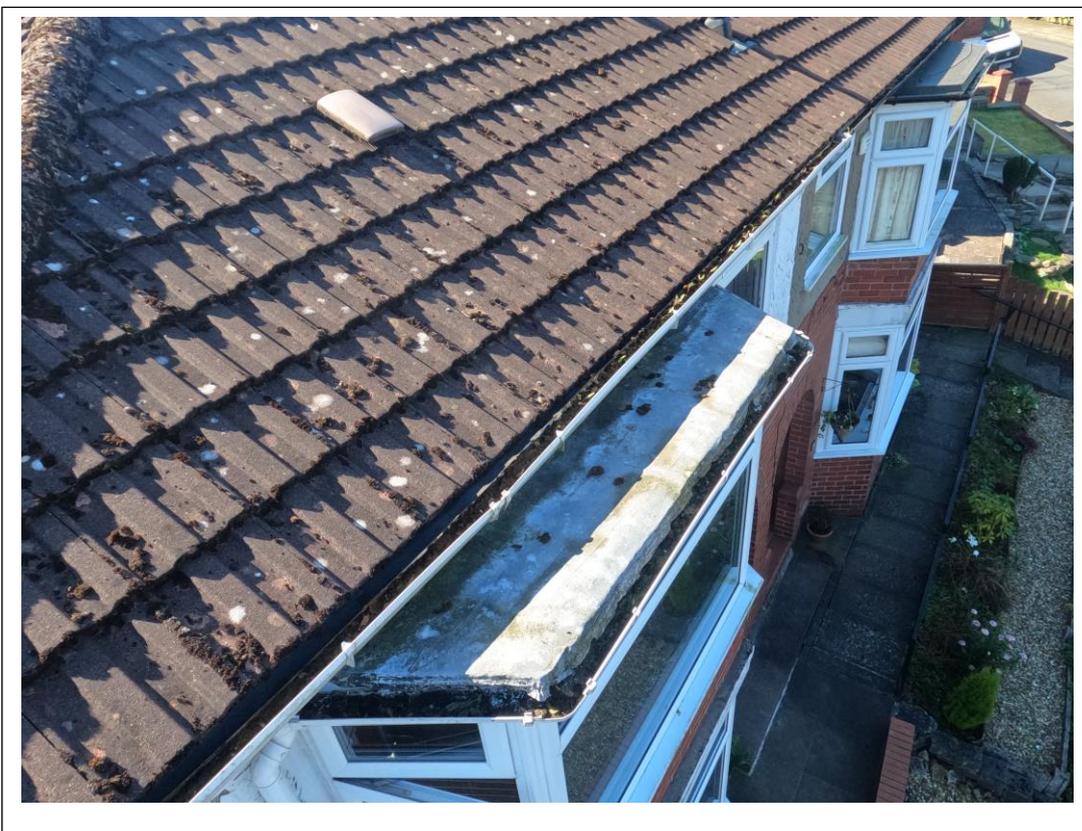
The small roof on the front bay window is of timber covered in lead probably dating from original construction and in satisfactory condition at present. **CR1- limited inspection**

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#### F4 Rain and waste water disposal (above ground – see Section H6 for underground drainage)

It did not rain during my inspection but rainwater goods are of modern plastic and whilst they require an immediate overhaul in removal of accumulated leaves and other debris (see photo below), there is nothing to indicate that they will not function adequately so long as they are regularly maintained.



You may, however, find that some of the gutter joints drip following rain and require sealing. The downspout from the front bay discharges into the garden where rainwater is likely to cascade down the steps and onto the public highway. This is not ideal, and could prove dangerous during freezing weather, and you may wish to have a gully and drain provided and linked to the inspection chamber on the side footpath (Section H6). Downspouts to the side and rear run into open gullies with the one to the rear also serving a plastic waste pipe from the kitchen. The plastic soil stack serving the bathroom fittings is in satisfactory condition although a cage should really be fitted to the open top end (see photo above) to prevent entry by leaves and other debris. **CR3**

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### F5 Main walls – including damp proof course (dpc) and, if applicable, sub-floor ventilation

Elevations are of cavity brick (the inner leaf to the cavity walls to the extension is probably of concrete block) with the upper front and side walls having a trowelled sand and cement render finish to which there is some flaking paintwork at the front but no decorative finishing to the side. Galvanised steel lintels support loads over door and window openings to the extension. There is nothing to indicate any deficiency in the provision of lintels to the openings to the original house. There is no significant cracking or distortion to indicate foundation problems or ground movement. There is some old cracking in the rendering at the point where the extension was built out from the original house.



This crack is of no structural concern but it should really be filled if safe access can be made available and the rendering should then be brushed and painted. Brickwork remains in satisfactory condition although pointing is of mixed age and is now becoming rather worn in parts and you should budget for repointing to be undertaken where necessary as a medium-term repairing liability. It would also be prudent to have the condition of the cavity wall ties to the remaining original elevations checked as part of such work as it is known that many of the wall ties used in the early post-war period were of fairly poor quality and may have a limited remaining life expectancy (see enclosed *Cavity Wall Tie Reference Sheet*). In any event, even if the ties are not particularly weakened by corrosion, they are likely to be few in number

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relative to modern standards. The original damp proof course has been pointed over but is almost certainly of a bitumen felt type and it is likely to be in a mortar bed well above ground level, a position that should be maintained. There is a plastic strip damp proof course to the extension. Paving across the rear has been raised a little closer to the line of the damp proof course than is ideal but the position is tolerable. Ventilation to voids beneath the timber ground floor is provided by a fairly generous number of air bricks and these must be kept clear of obstruction as adequate ventilation will reduce the risk of any moisture present beneath the floors (see Section G5) causing rot to develop. The air brick to the side of the extension has been slightly obstructed by paving but this should not significantly compromise air flow. **CR2**

### **F6 Doors**

The front entrance is through a hardwood panel door with a small glazed inset and it is hung in a double-glazed hardwood frame. The components remain in satisfactory condition although the relatively low-level glazing is not visibly marked as being of toughened glass as would now be required in this location. Components of this type have fairly poor thermal performance relative to modern standards and you may, therefore, wish to budget for their early replacement. Similar comments apply in respect of the double-glazed hardwood double doors with matching side screens to the rear dining room where the glazing units are only of a 6mm type, which are not particularly energy efficient. The doors remain in serviceable condition and the glazing is visibly marked as being of toughened glass, as is the double glazing to the UPVC door to the kitchen, which also operated satisfactorily. **CR1**

### **F7 Windows (including skylights)**

These are double glazed UPVC components and the vendors advised that they were installed in 1995, prior to Building Regulations approvals being required for replacement glazed items. The windows remain in serviceable condition with opening lights operating satisfactorily where tested but with some wear and tear to moving parts and some of the glazing units are showing the early signs of failure. Windows of this type and age will give increasing cause for maintenance and should probably be considered to be approaching the ends of their serviceable lives. The frame to the upper part of the bay window is slightly distorted and the internal floor also runs slightly into the bay area. I suspect that this is due to slight disturbance of the brick apron at first floor level and that this probably occurred when the windows were being replaced. If the first-floor frame was installed first and then the original timber ground floor frame was removed to allow for its replacement there may have been some movement of the upper bay structure. Whatever the cause, there is nothing to indicate any recent movement and the function of the bay window frame is not compromised. I do note, however, that the low-level glazing to this window is not visibly marked as being of toughened glass as would now be required and similar comments apply in respect of the window adjacent to the kitchen door. However, double glazing units are fairly difficult to break accidentally. I also note that the

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window to the right-hand front bedroom does not allow for emergency escape in the event of fire although there are escape windows to the three other bedrooms. **CR1**

### **F8 Conservatories and porches**

None.

### **F9 Other joinery items and decorative finishes**

The external decorative condition is satisfactory. UPVC boarding has been provided to the roof perimeters and is also in satisfactory condition. **CR1**

### **F10 Other items**

None.

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## G. Internal Elements

### Limitations to inspection

Inspection of the roof void was restricted to a “head and shoulders” view from the access hatch as the joists are concealed by thick fibre glass insulation. Very little inspection of floor surfaces was possible due to furniture, fitted carpets and other coverings but I was able to undertake a limited inspection of the voids beneath the ground floor.

### G1 Roof voids

The roof is framed in timber in a conventional manner. Timbers are adequately sized and supported for normal loading and showed no significant deflection or distortion, whilst noting that the replacement roof covering is probably slightly heavier than the original (Section F2), but there is a slight split in the end of the rather thin ridge board where it meets the heads of the hips that run to the outside corners.



There is no evidence of recent movement but it would be prudent to glue and plate the split section of timber. I could see no evidence of rot, disease or beetle infestation. There is a reinforced plastic membrane providing a secondary weatherproofing barrier beneath the tiles. This type of material does tend to be cold and to “sweat” during cold weather due to condensation (see *Appendix C*) but this appears to have been identified by the roofing

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contractors as the vendors advised that the various ventilating tiles to the external roof slopes (see photo on page 14) were provided when the roof covering was replaced. **CR2 – limited inspection**

## **G2 Ceilings**

So far as I could tell, the original parts of the house retain plaster on lath ceilings and they are reasonably level other than in the front bedroom where there is a slight sag. This may indicate separation of the plaster from the lath backing and is of no immediate concern but you may need to replace the ceiling with plasterboard at some stage. You will probably also find areas of cracked and loose plaster requiring patch repair during redecoration elsewhere. Ceilings within the extension are of plasterboard and are generally level and free from any particular defect. **CR1**

## **G3 Internal walls and partitions**

Walls are mainly of plastered brick or concrete blockwork and selective testing revealed plaster to be in generally sound condition but you may find some cracked or loose plaster requiring repair during future redecoration. There are some sections of lightweight timber and plasterboard partitioning at first floor level. To the ground floor accommodation, random testing of accessible parts of the lower internal walls and skirting boards using an electric conductance meter produced normal readings in virtually all areas indicating that damp proof courses are still functioning effectively. There is one small area of concern to the rear right hand corner in the original part of the dining room where high readings were recorded in plaster and where there is some flaking paintwork (see photo on page 21). This would originally have been an external cavity wall and I suspect that the damp proof course may have been bridged by debris allowed to drop into the cavity when the extension was constructed. No immediate action is considered necessary but it would be prudent to have this wall area opened up at some stage so that debris can be cleared out and a new section of damp proof course inserted if necessary. **CR2**

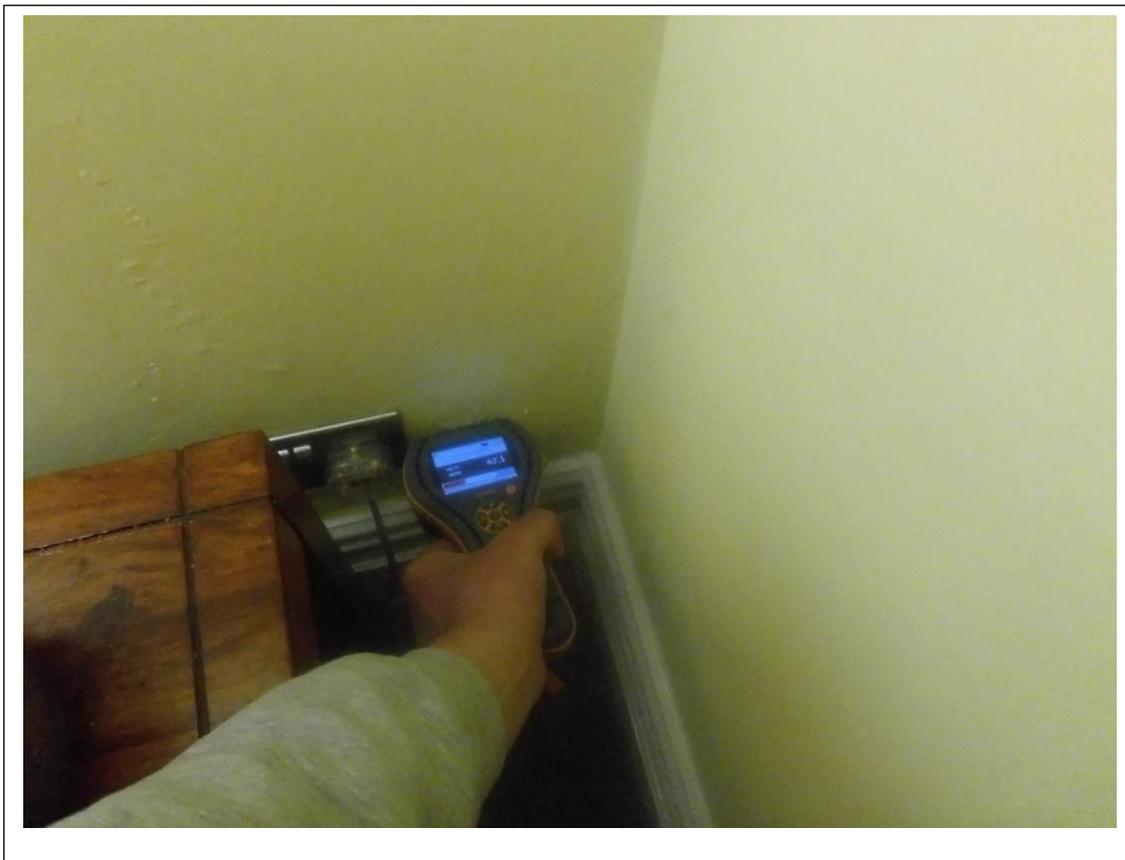
## **G4 Fireplaces, chimney breasts and flues (see also Section H4 – Heating)**

A marble hearth runs into a display recess in the front living room where the fire opening to the flue running in the external chimney breast (Section F1) has been blocked up. There is an electric fire to a marble and timber display fireplace on a false plasterboard chimney breast in the dining room where there are painted timber alcove cupboards and shelving units. Again, the flue does not appear to have been used for many years and you will require advice from a qualified heating engineer if you wish to have any fixed heating appliances installed. **CR1**

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*Localised area of dampness*

## **G5 Floors**

Inspection was severely restricted but most of the timber floors were found to be generally level and firm underfoot. The first floor is a little creaky in parts but not to an excessive degree. I have already noted under Section F7 that the floor in the bedroom bay window runs slightly out of level. A small section of boarding visible in the boiler cupboard was found to be in satisfactory condition with no evidence of disease or beetle infestation. Similar comments apply in respect of the ground floor although the floors in the original reception rooms do “crown” slightly towards their centres. This may indicate some minor initial settlement of the load bearing walls including the dividing wall between the rooms. The degree of unevenness to the floors is not excessive. Some boarding was accessible in the cupboard beneath the base of the staircase and was found to be in satisfactory condition. I was able to lift some loose boards and this allowed a limited inverted head and shoulders inspection of the fairly deep void (see photo on page 22). You may wish to have some form of steps fixed in position so that the voids can be safely entered and a more thorough inspection undertaken but the oversite is of earth and whilst there is evidence that ground water may collect in parts following rain, the spacious void has good ventilation and this will reduce the risk of any rot developing in the timbers. Moisture content in the joists was recorded at a little over 20 per cent, which is marginal in terms of the point at which some types of timber can develop rot in poorly

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ventilated conditions, but I could not see any evidence of decay or beetle infestation. **CR1 – limited inspection.**



#### **G6 Kitchen and utility fittings (note: integrated cooking and other appliances are noted but not tested)**

The kitchen is fitted with a ceramic sink to laminate worktops and there is a good range of modern laminate-faced panel door units in satisfactory condition. There are integrated electric cooking appliances. **CR1**

#### **G7 Sanitary fittings**

The bathroom has modern white fittings and these appeared to be in serviceable condition with no evidence of leakage but operation of the electric shower over the bath was not tested. **CR1**

**G8 Internal joinery items including doors and staircases (note: many older properties will have joinery items decorated with lead-based paint; see Government advice at [lead paint](#))** ⚠

Mixed age gloss painted and stained timber skirting boards, door frames and window sills are in satisfactory condition, as are the modern oak panel doors. The part open plan staircase has some safety issues as there are timber ranch style balustrades that could easily be climbed by

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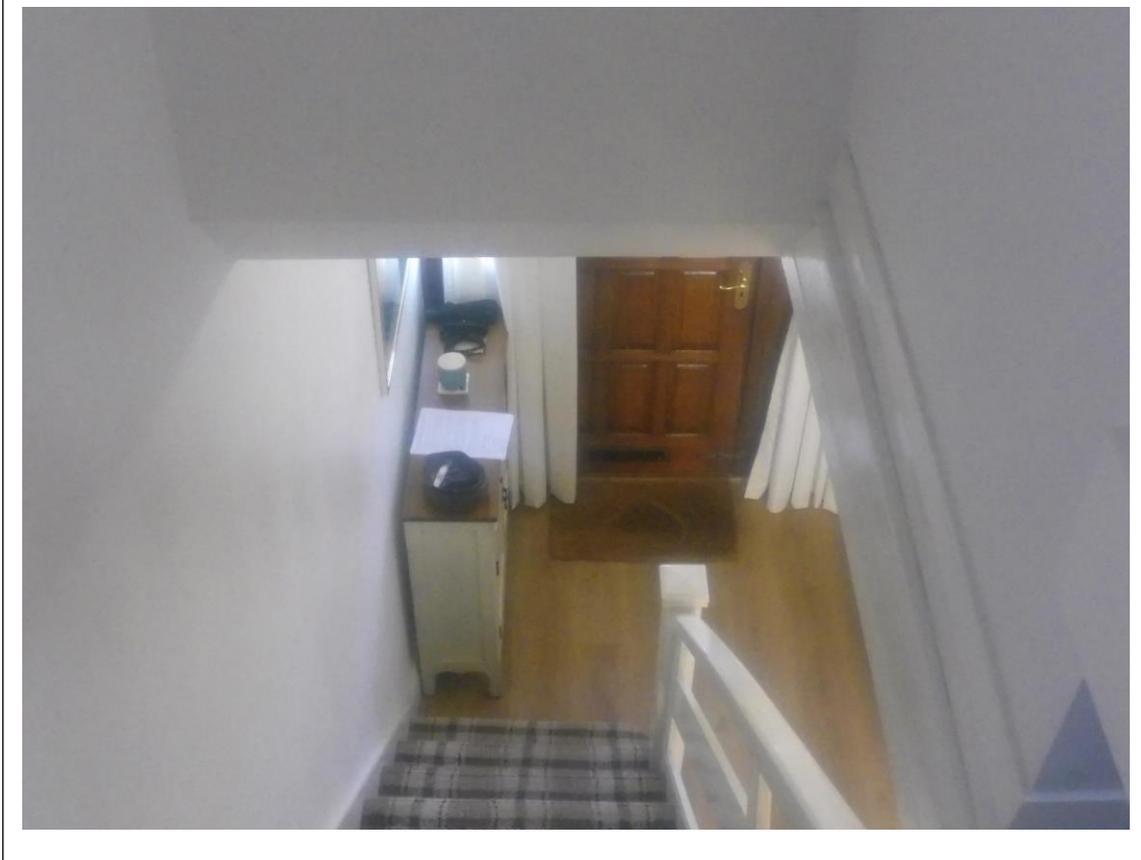
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young children and there is also only around 1.5 metres headroom over the middle part of the flight beneath the projecting first floor structure.



The underside is formed into storage cupboards. **CRI**

**G9 Other built-in fixtures (such as wardrobes)**

None.

**G10 Other items**

None.

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## H. Services Installations

*Notes: We are not plumbers, electricians or gas engineers and we are not qualified to test service installations or to report on their condition. **Remember – electricity and gas in particular are “services that can kill”** and it is essential that your legal adviser ensures that electrical and gas installations and appliances have up to date inspection documentation from appropriately qualified contractors; if not these installations should be inspected by competent persons (<https://www.competentperson.co.uk/>) **prior to purchase**. If you are purchasing the property as an investment to be let to tenants, there is specific legislation that will apply to the service installations and your legal adviser and/or letting/managing agent should be able to advise on what you will need to provide to your tenants. **It must be noted that many parts of service installations, such as pipes and cables, are concealed within the building or below ground and cannot be inspected.** The following Sections are for information only but the Surveyor will note if any specialist advice is considered appropriate. **Please note also that the electrical, gas (or oil) and heating installations will be given a CR3 by default if the Surveyor does not have sight of current test certificates or servicing records at the time of inspection or prior to the Report being issued.***

### Limitations to inspection

Much of the plumbing installation is concealed.

### H1 Electricity

Please note the following, particularly if the Surveyor advises that you should have the electrical installation tested prior to purchase:

<http://www.electricalsafetyfirst.org.uk/find-an-electrician/periodic-inspection-explained/>

You should also note that even minor electrical works are now covered by Building Regulations and must be carried out by a competent electrician who will be able to issue the relevant certification. You may wish to check that the property has an adequate number of electrical sockets etc. to meet your likely requirements.

There is a mains electricity supply with the meter and circuit breaker consumer unit located beneath the stairs. The property is wired in PVC insulated cable and the vendors advised that rewiring was undertaken in 2008 and there should, therefore, be Building Regulations certification (Section L1). However, whilst I have no reason to suspect any major defects, a date sticker on the consumer unit indicates that a periodic check was due in 2018 and you should, therefore, commission an Electrical Condition Report **prior to purchase** and implement any recommendations. **CR3**

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## H2 Gas (or oil if applicable)

Please note that it is illegal under the Gas Safety (Installation and Use) Regulations 1994 for unqualified persons to test or work on any part of a gas installation or a gas appliance and all qualified gas engineers must be on the Gas Safe Register <http://www.gassaferegister.co.uk/>

There is a mains gas service with the supply pipe entering beneath the stairs where the meter is located. Distribution pipework is in copper and presently serves only the central heating boiler (Section H4). You should ensure that there is a Gas Safety Certificate in place (Section L2) **prior to purchase**. **CR3 – subject to documentation.**

## H3 Water

There is a mains water supply with a replacement plastic supply pipe entering in the kitchen where there is a stop tap to a cut out in one of the base cupboards. Internal pipework is a mixture of copper, plastic and flexible hose where visible. There are no water storage tanks. **CR1 – limited inspection.**

## H4 Heating

There is a gas central heating system with a combination condensing boiler located in a cupboard on the landing and serving modern radiators fitted with thermostatic valves. The boiler was operating at the time of my inspection and the vendors advised that it was installed around 5 years ago and has only recently been serviced. Your Legal Adviser should obtain the supporting documentation (Sections L1 and L2). **CR3 – subject to documentation.**

## H5 Hot water

Hot water is provided direct by the central heating boiler. **CR3 – subject to documentation.**

## H6 Drainage

### General note

*In most cases the drainage system to a property is below ground and largely inaccessible. The Surveyor will, where possible, open any accessible drainage chambers and, if water is available at the property, run water through them to check the flow and for any signs of blockage, backing up or other issues BUT no specialist drainage tests will be carried out. The Surveyor will advise if no inspection chambers are located or if there are any that could not be opened with an explanation as to why. If there are reasons to suspect drainage problems then further specialist advice will be recommended.*

*Your legal adviser will normally recommend that you obtain a Drainage and Water Search (known as a CON29DW) and this will cover:*

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- *services to which the property is connected*
- *charging basis for services*
- *contact details for sewerage and water billing company*
- *meter location (if applicable)*
- *adoption agreements*
- *consultation on build over*
- *sewers within the boundaries and 100 feet thereof*
- *low water pressure*
- *internal flooding from overloaded public sewers*
- *nearest public sewage treatment works*
- *water quality*

*The following link should help you understand which of the drains within the boundaries of the property may be your responsibility and which may be maintained by the Water and Sewerage Company (e.g. United Utilities) under The Water Act 2011: <https://www.unitedutilities.com/help-and-support/wastewater-services/sewers-and-drains-explained/>*

*and your legal adviser should be able to confirm.*

The property will connect to the public sewer and I lifted the rusting cast iron cover to a fairly deep brick manhole (see photo on page 27) on the side footpath and over an angled section of foul drain (although rainwater probably connects to the same system) at the base of the soil stack. The drain probably drops into a lower-level system at the neighbouring house. A free flow of water was obtained at a good rate of flow and with no signs of backing up or blockage but there is some accumulated dirt and debris on the concrete benching to either side of the drainage channel. The chamber should be hosed clean and disinfected although the benching should really be re-formed so that it inclines towards the drain. **CR2**

### **H7 Non-mains services (if any)**

*Please note we do not test or comment on specialist non-mains service installations such as:*

- *Smoke detectors and fire alarms*
- *Carbon monoxide alarms*
- *Sprinkler systems*
- *Security alarms and CCTV equipment*
- *Telephone and computer cabling and equipment*
- *Multi-media installations, home cinema and sound systems etc*

None.

### **H8 Other services or energy sources including renewables**

None.

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*The drainage manhole*

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## I. Grounds, boundaries and outbuildings

### Limitations to inspection

None.

### I1 Garage

None.

### I2 Other outbuildings

The detached outbuilding is of fairly substantial cavity brick and concrete block construction with a plastic strip damp proof course and there are galvanised steel lintels over the door and window openings. Pointing to the brickwork is becoming a little worn and will require attention at some stage. The side window is a fairly modern double glazed UPVC frame in satisfactory condition. There is a hardwood panel door in a timber frame, where there is some rot at low level, adjacent to a 6mm double glazed timber window that is not visibly marked as being of toughened glass (see Section F7) and you may wish to budget for early replacement of these components. The flat roof is of timber and old felt, which is rather rippled and uneven (see photo on page 30). Similar comments apply as in respect of the flat roof on the extension (Section F3) and you should budget accordingly. There is, in fact, some faint water marking to the rear section of the plasterboard ceiling indicating that there has been some water penetration through this roof in the past. It has a rather limited fall to plastic rainwater goods that discharge into an open gully along with a plastic waste pipe from an internal sink and plumbing from an automatic washing machine. There are various minor cracks to internal wall plaster but these are not of structural concern. **CR2**

### I3 Grounds – note these are **NOT** given a Condition Rating

The garden areas have many trip and fall hazards at changes of level and are not particularly “child-friendly”. Gardens are mainly laid to slightly uneven concrete paving and steps and various gravelled terraces with brick and imitation stone retaining walls that show no evidence of any significant cracking or displacement under load.

### I4 Boundaries

The plot is enclosed by various boundary features in generally satisfactory condition but you should note that a retaining wall to the raised footpath along the side of the house is of old mass concrete that appears to remain in satisfactory condition but will be expensive to repair or replace should this ever be necessary and also the rusting wrought iron fence providing a guardrail along the top of this wall is too low and could easily be climbed by young children (see Section I3). I also note that a rear corner to the outbuilding projects beyond the line of a brick wall and that the concrete post and timber panel fence along the right-hand side of the

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rear garden is set slightly off line relative to the corner of the extension and your Legal Adviser should confirm that there have been no boundary encroachments (Section L3). **CR1**



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*The outbuilding flat roof*

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## J. Energy Performance

I have not prepared the Energy Performance Certificate (EPC). If an EPC has been lodged at <https://find-energy-certificate.digital.communities.gov.uk/> then the current rating is noted below. I have not checked the rating and so cannot confirm its accuracy.

### Energy-efficiency rating

**63D**

Whilst I am not a qualified Domestic Energy Assessor my observations on the current rating and the recommended measures to improve energy performance as noted in the EPC are as follows:

The current rating is fairly modest but typical for a house of this age and type. I note that the Certificate does not refer to the flat roof on the rear extension but within which there is probably only a limited level of thermal insulation. There are also stated assumptions regarding insulation, or lack of, to the cavity walls. The Certificate identifies areas where energy performance could be improved although most of the measures will be expensive and require Building Regulations approvals.

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## **K. Comments regarding Fire Safety**

My observations on fire safety at this property are:

Fire safety is generally good as there are reasonable escape routes but there are only battery-operated smoke detectors and you may wish to have a mains-wired smoke and heat detection system installed.

Useful guides on fire safety in the home can be downloaded here:

[Fire Safety in the Home](#) (Government)

[RICS Guide to Fire Safety](#)

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## L. Matters for your Legal Adviser

*Your legal adviser is responsible for following the “paper trail” in respect of a property transaction. The Surveyor is NOT a legal adviser but will act as the legal adviser’s “eyes and ears” in relation to the property and this Section will outline any legal issues the Surveyor considers require clarification. **You should note that the Surveyor’s advice, including any such relating to the value of the property, may be affected by the outcome of your legal adviser’s enquiries and any discrepancies should be referred back to the Surveyor.***

### **Boundaries**

In a physical, rather than legal, sense and noting that I have not seen any deed or other title plans or undertaken any detailed measurements on site, boundaries appeared to be well defined and in an adequate state of repair unless noted under Section I4.

### **Easements and rights of way**

Unless otherwise stated I noted nothing to indicate that the property may be subject to any onerous or unusual easements or restrictions and my opinion of value is reported on this basis.

### **Roads**

Unless otherwise stated access to the property is by way of made-up highways that are believed to be adopted for maintenance at public expense. **Your legal adviser will confirm.**

### **L1 Regulations and approvals**

Your Legal Adviser should check whether there is any record of Planning and Building Regulations approvals for the rear extension and the outbuilding and should also obtain any available Building Regulation Certification in respect of the following:

F2 – Replacement of the main roof covering

H1 – Rewiring of the electrical installation

H4 – Installation of the central heating boiler

### **L2 Guarantees etc**

Your Legal Adviser should obtain any available guarantees or other documentation in respect of the following:

H2 and H4 – The gas installation and recent servicing of the boiler

### **L3 Any other matters**

Your Legal Adviser should make particular enquiries in respect of the following:

- The coal mining and environmental histories of the locality.

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- Whether there have been any boundary encroachments.

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## M. What to do next

### Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property (if applicable). Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified.

You should get at least two quotations from experienced contractors who are properly insured. You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put the quotations in writing.

Some repairs will need contractors with specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). Some work may also need you to get Building Regulations approvals or planning permission from the relevant Local Authority.

### Further investigations

If the surveyor is concerned about the condition of a hidden part of the building, could only see part of a defect or does not have the specialist knowledge to assess part of the property fully, he/she may have recommended that further investigations should be carried out to discover the true extent of the problem.

### Who you should use for these further investigations

You should ask an appropriately qualified person. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different Government-approved schemes. If you want further advice, please contact the surveyor.

### What the further investigations will involve

This will depend on the type of problem but parts of the building may have to be disturbed and so you should discuss this matter with the current owner, via the estate agent if applicable. In some cases, the cost of investigation may be high.

### When to do the work

The Condition Ratings help describe the urgency of the repair and replacement work. The following summary may help you decide when to do the work.

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**CR2** – repairs should be done soon. Exactly when will depend on the type of problem, but it usually does not have to be done right away. Many repairs could wait weeks or months, giving you time to organise suitable reports and quotations.

**CR3** – repairs should be done as soon as possible. The speed of your response will depend on the nature of the problem. For example, repairs to a badly leaking roof or a dangerous gas boiler need to be carried out within a matter of hours, while other less important critical repairs could wait for a few days.

### **Warning**

Although repairs of elements with a **CR2** are not considered urgent, if they are not addressed they may develop into defects needing more serious repairs. Flat roofs and gutters are typical examples. These can quickly get worse without warning and result in serious leaks. Accordingly, you should regularly check elements with a **CR2** to make sure they are not getting worse.

### **Why the bee?**



*This is the Manchester Bee and it was adopted as a symbol of the City after the tragic terrorist bombing at the Manchester Arena in 2017. As a business working in Greater Manchester, we aim to embody the Mancunian spirit of industry and fairness whilst retaining a "northern" sense of pride, perspective and good humour! The words on the bee's body are "Hope", "Strength" and "Peace".*

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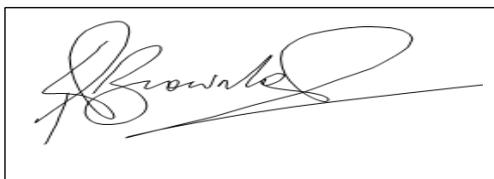
## N. Surveyor's declaration

I confirm that I personally inspected this property and have prepared this report. Please contact me if you have any questions.

Surveyor's name: John Brownlow MRICS FISVA,  
Chartered Surveyor & RICS Registered Valuer

RICS number: 0067901

Signature:



For and on behalf of

***Edwards Genesis (Chartered Surveyors)***

***42 Church Street, LEIGH WN7 1AZ (this Office is un-manned, please send correspondence to  
82 New Hall Lane, Heaton, BOLTON BL1 5HQ)***

Tel: 01942 608608 (office hours, Monday-Friday; out-of-hours messaging service)

e-mail: [edwardssurveyors@gmail.com](mailto:edwardssurveyors@gmail.com)

web: [www.edwardsgenesis.co.uk](http://www.edwardsgenesis.co.uk)

Facebook: <https://www.facebook.com/EdwardsGenesisSurvey/>

Twitter: <https://twitter.com/egsurvey>

You Tube: <https://www.youtube.com/channel/UCB2q431nHmxYFxy1UsgpGuw>

This report has been prepared by the surveyor solely in his or her capacity as an employee or agent of the named Company. The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of The Company, which accepts sole responsibility for them. For his or her part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report and no reliance or inference to the contrary should be drawn.

Edwards Genesis is the trading name of Miller Edwards Ltd. and also incorporates Brownlow Associates (Consultant Surveyors and Valuers) and the Valuation Department of Millers (Chartered Surveyors).

Company Registration no: 6702718

*Directors: John Brownlow MRICS FISVA, Simon Miller FRICS FISVA*

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## APPENDICES

### A. Survey Report - Terms of Engagement

#### Introduction

*Edwards Genesis* are committed to providing the Client with sound, cost effective, independent and professional advice to help you make the correct decisions in respect of the property you are proposing to purchase. As part of this service, our Surveyor will endeavour to submit a readily readable Report, avoiding technical jargon wherever possible but fully explaining technical terms where these are used. The Report will identify major defects and serious items of disrepair, with recommendations as to repair, including carrying out further investigation or obtaining specialist advice where necessary, taking into account the age and type of property and any specific requirements identified by the Client.

#### **“Benchmarking” of Survey Reports – RICS Home Survey Standard June 2020**

**"Benchmarking" of all levels of Survey Report became mandatory for all RICS members carrying out surveys on residential properties under the Home Survey Standard (HSS) from 1st March 2021.**

These are the minimum standards each survey level should achieve. Where possible we will exceed the minimum standards in the areas **highlighted**.

*Notes – any of the Survey Levels can be provided as a standalone Report OR, at an additional cost, with a Valuation Appendix that will meet the requirements of RICS Valuation – Global Standards 2020.*

**The HSS does not require reports to include photos – all our reports will include photographs and may also include diagrams, weblinks, reference sheets, maps etc**

#### **Survey Level 1 - Condition Report**

This service is designed for clients (buyers, sellers and owners) seeking a professional and objective report on the condition of the property at an economic price. As a result, it is less comprehensive than Survey Level 2 and Survey Level 3. This level of service includes a visual inspection that is less extensive than for the other Survey Levels. No tests of the building fabric or services are undertaken. **(We will, where possible, observe services in normal operation as under a Survey Level 2 and this will include lifting of covers to drainage inspection chambers. Roof voids are inspected on a “head and shoulders” basis)**. The report objectively describes the condition of the building, its services and the grounds. It highlights relevant legal issues and any obvious risks to the building, people or grounds. The report is succinct and provides an assessment of the relative importance of the defects and problems. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made. A Survey Level 1 report does not include advice on how to carry out repairs or on ongoing maintenance and this, combined with the less extensive inspection, ©This report format is copyright to Miller Edwards Ltd. and is reproduced under licence – June 2022.

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usually means it is better suited to \* conventionally built, modern dwellings in satisfactory condition. It will not suit older or complex properties, or those in a neglected condition.

*Notes – \*as a guide, but each case to be judged on its merits, houses built since 1990 and not greatly extended or altered (except perhaps by addition of a small conservatory or porch), of conventional style (typically on an estate rather than being a “one-off”) with upto 3 floor levels above ground.*

### **Survey Level 2 - Home Buyer Survey**

This level of service is for clients who are seeking a professional opinion at an economic price. It is, therefore, less comprehensive than a Level 3 service. The focus is on assessing the general condition of the main elements of a property. This intermediate level of service includes a more extensive visual inspection of the building, its services and grounds, but still without tests (we will, where possible, turn on taps, flush toilets and run water through drainage chambers). Concealed areas normally opened or used by the occupiers are inspected if it is safe to do so (typical examples include roof spaces, basements and cellars). (We will, where possible, inspect sub-floor voids although physical entry will only be undertaken if the surveyor judges it to be safe). The report objectively describes the condition of the different elements and provides an assessment of the relative importance of the defects/problems. At this level, although it is concise, the report does include advice about repairs and any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigations should be made. This level of service suits a broader range of conventionally built properties, although the age and type will depend on the knowledge and experience of the RICS member. This level of service is unlikely to suit:

- complex buildings, for example those that have been extensively extended and altered
- unique or older historic properties – although Survey Level 2 services may be appropriate for some older buildings, the decision will depend on the RICS member’s proven competence and knowledge and the nature of the building itself. For example, a Survey Level 2 report on homes with traditional timber frames or those built much before 1850 is likely to be inconclusive and be of little use to the client or
- properties in neglected condition.

### **Survey Level 3 - Building Survey**

This level of service is for clients who are seeking a professional opinion based on a detailed assessment of the property. The service consists of a detailed visual inspection of the building, its services and the grounds and is more extensive than a Survey Level 2. Concealed areas normally opened or used by the occupiers are inspected if it is safe to do so (typical examples include roof spaces, basements and cellars). Although the services are not tested, they are observed in normal operation – in other words, they are switched on or off and/or operated where the occupier has given permission and it is safe to do so. The report objectively describes the form of construction and materials used for different parts of the property. It describes the

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condition and provides an assessment of the relative importance of the defects/problems. Additionally, it should:

- describe the identifiable risk of potential or hidden defects in areas not inspected
- propose the most probable cause(s) of the defects based on the inspection
- outline the likely scope of any appropriate remedial work and explain the likely consequences of non-repair
- make general recommendations in respect of the priority and likely timescale for necessary work

Where an RICS member feels unable to reach the necessary conclusions with reasonable confidence, they should refer the matter for further investigations. **However, at Survey Level 3 such referrals should be the exception rather than the rule.** A Survey Level 3 report should aim to provide the client with all the information they need to make a decision. This level of service will suit any domestic residential property in any condition depending on the competence and experience of the RICS member.

#### **Purpose of Report & Extent of Inspection**

1. The Surveyor will advise the Client, by way of written Report, as to his/her opinion of the state of repair and condition of the property's structure and fabric in the context of its age, type and quality of construction but not as an inventory of every individual defect.
2. Other than as set out below, the Surveyor will carry out such work as is reasonable, in his/her professional judgement, and possible having regard to the Surveyor's personal safety so as to enable him/her to meet the requirements of Item 1 above, bearing in mind the practical limitations imposed by the individual circumstances of the property at the time of the inspection, and always bearing in mind that the Surveyor is a visitor to the property.
3. The Surveyor will inspect as much of the internal and external parts of the property as is practicable in order to meet the above requirement. Where accessible, loose floorboards, trap doors, unsecured hatches and covers will be lifted or opened as applicable but the Surveyor will not be under any obligation to lift fitted floor coverings, move stored items or furniture, or remove fixtures and fittings to facilitate inspection.
4. Any areas of the structure, including woodwork, which are covered, unexposed or inaccessible will not be inspected, and no parts of the building will be opened up in any way which may cause damage without the prior written consent of the Vendor or Owner (or their authorised Agents) being obtained. The Report will not purport to express an opinion, implied or otherwise, on the condition of un-inspected parts of the property. However, if the Surveyor has valid reason to suspect that there is a material risk of defects in any parts where inspection has not been possible, recommendations will be made as to

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what practical steps, if any, should be undertaken to determine the condition of those parts.

5. The property will be inspected from ground level and available vantage points (with the aid of binoculars and a camera mounted on a telescopic pole where necessary) within the curtilage and/or from adjacent public areas. Where necessary and possible the Surveyor will inspect from an adjoining owner's land if the permission of said party can be obtained in advance or at the time of inspection. Flat roofs and other upper parts of the structure will be inspected more closely by use of the Surveyor's 3 metre ladder, having due regard to the safety of the Surveyor and others, and/or by use of a camera mounted on a telescopic pole. If the Client requests in advance, and the nature of the particular property so requires, the Surveyor will arrange for longer ladders or other access equipment to be brought to site **at the Client's expense**.
6. Where parts of the exterior are impossible to inspect, or where inspection is restricted due to, for example, trees or nearby structures, the Surveyor will comment on this fact in the Report and will make appropriate recommendations if it is felt that closer inspection is required.
7. Roof voids will be physically inspected where suitable access hatches of adequate size are present and can be safely opened without causing damage or any risk of injury to the Surveyor or others. It is noted that modern levels of thermal insulation often restrict a Surveyor's ability to move safely within roof voids but our Surveyors carry high-power torches that facilitate better inspection from access hatches and other safe vantage points.
8. Sub-floor areas of reasonable depth (generally a minimum of 450mm) and not flooded or excessively wet will be inspected, again with due regard to the safety of the Surveyor and with particular regard to the presence of electrical equipment (cables and connections), gas service pipes and plumbing and/or heating pipework, where a suitable trap door or other access point, of adequate size, is located and accessible at the time of the Surveyor's visit. **Note:** Clients purchasing properties with suspended timber ground floors are advised to ask Vendors whether such traps are known to exist.
9. No comment can be made as to the condition of chimney flues or the practicality of using the same.
10. The building structure and fabric will be examined for evidence of foundation problems or ground movement, and the Surveyor will comment on any potential destabilising influences, but it is impractical during the course of a routine Survey to excavate and expose foundations.
11. Theoretical calculations to check sizes and/or adequacy of structural elements will not be

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undertaken.

12. In the case of a flat or maisonette (*note:* we offer a purpose-designed Flat Buyer Report), the inspection will cover such areas as are, or are believed to be, included in the sale (as advised by the Vendor, Owner and/or Agent where applicable) and will not extend in detail to other parts of the building/buildings or common parts although reference will be made to any areas of obvious concern. The Surveyor will be under no obligation to inspect the Lease and/or Management or Service Charge Agreement and Clients are advised of the need to obtain sound legal advice when purchasing flats and similar properties as Leases and other Agreements can impose onerous obligations in respect of parts of the building, communal areas etc. which may not be immediately related to the property being purchased.
13. The inspection and Report will include garden areas, outbuildings, boundaries etc. but comment on such features may be limited if the Surveyor finds only minor defects and/or considers that the condition of items such as outbuildings is of little concern in relation to the condition of (and, if applicable, the value of) the main building. Specialist installations such as swimming pools and similar leisure facilities, ornamental garden features etc. will normally fall outside the scope of a Survey Report other than at **Level 3**.

### **Service Installations and Specialist Fixtures and Fittings**

1. *Edwards Genesis* are not plumbers, electricians or gas engineers and are not qualified to test service installations or to report on the condition thereof. Accordingly, no specialist tests of service installations (water, electricity, gas, heating & drainage) will be applied. Similarly, we cannot test or report on specialist fixtures and fittings such as lifts, security and fire alarms, built in cooking or other gas and electrical appliances etc. However, the Surveyor will inspect service installations where possible and will Report on any patent defects and/or will advise where further investigation or specialist tests are considered necessary. Everyday items such as taps, toilet fittings, etc. may be tested by normal operation if appropriate and the Surveyor will lift any drainage inspection covers within the curtilage of the property where such covers are intact and accessible, not stuck or secured shut, and can be lifted without specialist equipment. However, no drains test will be applied.
2. Where the Client requires specialist tests/reports on service installations etc. *Edwards Genesis* will be pleased to assist in arranging these, with the consent of the property Vendor/Owner or the Agent, but the Client will be responsible for agreeing Terms of Engagement with any specialist contractors employed and for meeting their charges direct.

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### **General Matters**

1. Unless otherwise stated in the Report, The Surveyor will have made no direct enquiries of planning, local, highway or other statutory authorities, Government Departments or Agencies etc. in relation to tenure, covenants, rights of way, planning schemes, NHBC or Architects Certificates etc. but comment will be made if the Surveyor has reason to suspect problems in any such areas so the Client may bring these to the particular attention of his/her legal advisers and the Surveyor may refer to information known to him/her or discovered by pre- or post-inspection internet research or other enquiry.
2. In providing the Survey Report, the following assumptions will apply unless there is information to the contrary:
  - that no high alumina cement/concrete, calcium chloride additive, asbestos or other potentially deleterious, hazardous or toxic material or technique was used in the construction of the property or has been incorporated since (the report will fall outside *The Control of Asbestos Regulations 2012*), but the Surveyor will advise in his/her Report if he/she has any reason to suspect the presence of asbestos-containing materials,
  - that the site on which the property stands, or any immediately adjacent land, has not been contaminated (within the meaning of The Environmental Protection Act 1990 and subsequent legislation) by any past use but the Surveyor will advise on any known or suspected environmental issues, taking into account the location of the property, and will advise if any appropriate reports should be obtained by your legal adviser; if the report includes valuation advice, this will be given on the assumption that full buildings insurance cover will be available on normal terms,
  - that the property is not subject to any unusual or especially onerous easement, restrictions, encumbrances or outgoings, is unaffected by any matters which would be revealed by a local search and replies to the usual pre-contract enquiries, or by any Statutory Notice; and that neither the property, its condition or its use (or any intended use) is or will be unlawful,
  - that an inspection of those parts which have not been inspected would not reveal any material defects or, if applicable, cause the Surveyor to materially alter any valuation advice.
4. The Report will be provided for the sole and confidential use of the named Client and his/her professional advisers. It must not be made available, copied, sold or otherwise transferred to third parties without the express written consent of *Edwards Genesis* (for which consent a fee may be payable) and we will accept no liability to any such party unless such consent has been given. *Edwards Genesis* retain the copyright and

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intellectual property rights to the report and all associated material, including photographs and other images, and reserve the right to publish or otherwise use all of this material, or any part thereof, in any printed or electronic format, including web pages and social media, but in so doing we will take all reasonable precautions not to identify the property and/or the named client. Comments within the Report will be made in good faith **and on the strict understanding that they will not be quoted out of context to any third parties.**

5. Where requested, the Surveyor may provide the Client with a verbal précis of his findings, and/or a pre-report “bullet point” summary of his/her main findings and observations, and/or a draft copy of the Report, but the Client should not, under any circumstances, make any binding commitment to purchase the property or enter into any other contract relating to the proposed purchase before receiving the final Report, signed by the Surveyor or an authorised representative of *Edwards Genesis*. We can accept no responsibility for any loss in such circumstances. **Note: we can only provide pre-Report advice, verbally or in writing, once the Client has acknowledged agreement to the Terms of Engagement and made payment of the agreed fee.**
6. Any repair costs or other sums quoted will be for guidance only and it is incumbent on the Client to verify the likely costs of remedial and other works by obtaining contractors’ estimates/quotations before entering into a binding contract to purchase. It is also prudent to allow a contingency sum for extra or unforeseeable items.
7. Where it is agreed in advance that the Report is to include valuation advice, including completion of a mortgage lender’s standard Mortgage Valuation Report, such advice will be given in accordance with *Edwards Genesis*’ Terms of Engagement for Valuation Reports (attached if appropriate) in so far as they are not superseded by these Conditions of Engagement in terms of the level of inspection etc. Any valuation advice will be included in an **Appendix** to the Survey Report and will be provided in accordance with the **MANDATORY** requirements of *RICS Valuation - Global Standards 2020*.
8. Formal acknowledgement of the Client’s agreement to these Terms of Engagement is required and such acknowledgement must be received **as a condition of our Professional Indemnity Insurance before** the Report, or any précis or draft version thereof, can be issued (see Item 5 above).
9. The Client will pay to *Edwards Genesis* the agreed fee, as set out in the accompanying letter or e-mail, for preparation of the Report and, unless otherwise agreed in advance, the fee is due on the date of the accompanying letter or e-mail (see attached **Payment Terms** if advance payment of the agreed fee is requested). **Reports will not normally be released until payment has been received.** Where advance payment is not requested our Terms of Credit are payment within 28 days of the date of invoice and we reserve the

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right to charge statutory interest on overdue accounts.

10. In accordance with **RICS Regulations** we have a formal Complaints Handling Procedure. A copy is available on request.

TofESurvey/January 2020

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## **C. Condensation**

This Appendix is included as standard in the final report

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## **D. Asbestos**

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## E. The Party Wall Act

**Source:** <https://www.gov.uk/guidance/party-wall-etc-act-1996-guidance#introduction>

The [Party Wall etc Act 1996](#) provides a framework for preventing and resolving disputes in relation to party walls, boundary walls and excavations near neighbouring buildings.

A building owner proposing to start work covered by the Act must give adjoining owners notice of their intentions in the way set down in the Act. Adjoining owners can agree or disagree with what is proposed. Where they disagree, the Act provides a mechanism for resolving disputes.

The Act is separate from obtaining planning permission or Building Regulations approval.

### What is a party wall?

The main types of party walls are:

- a wall that stands on the lands of 2 (or more) owners and forms part of a building - this wall can be part of one building only or separate buildings belonging to different owners
- a wall that stands on the lands of 2 owners but does not form part of a building, such as a garden wall but not including timber fences
- a wall that is on one owner's land but is used by 2 (or more) owners to separate their buildings

The Act also uses the expression 'party structure'. This could be a wall or floor partition or other structure separating buildings or parts of buildings in different ownership, such as in flats.

### What the Act covers

The Act covers:

- new building on or at the boundary of 2 properties
- work to an existing party wall or party structure
- excavation near to and below the foundation level of neighbouring buildings

This may include:

- building a new wall on or at the boundary of 2 properties
- cutting into a party wall
- making a party wall taller, shorter or deeper

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- removing chimney breasts from a party wall
- knocking down and rebuilding a party wall
- digging below the foundation level of a neighbour's property

**Explanatory booklet (download free <https://tinyurl.com/yxm9w97a>)**

This provides detailed guidance on the Party Wall etc. Act 1996. The guidance explains how the Act may affect a building owner who wishes to carry out work covered by the Act or an adjoining building owner who receives notification under the Act of proposed work.

The guidance has been further updated in May 2016 to take account of amendments to the Act to allow the electronic transmission of notices and other documents, required under the Act, where both the giver and receiver of the notices and documents agree.

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## F. Useful weblinks

### [The Royal Institution of Chartered Surveyors \(RICS\)](#)

RICS is the world's leading professional body for qualifications and standards in land, property and construction.

### [The Independent Surveyors Association](#)

An association of independent surveying and valuation practices with members throughout England and Wales

### [Environment Agency](#)

Government advice on flooding and other environmental issues.

### [National Housebuilders Registration Council \(NHBC\)](#)

For advice on new housing.

### [The Health Protection Agency \(HPA\)](#)

Government advice on radon, electromagnetic fields, radio masts etc.

### [Powerwatch](#)

An "outside" view on electromagnetic fields, radiation and associated issues.

### [The Coal Authority](#)

For advice on coal mining issues.

### [Planning Portal](#)

A very useful UK Government "interactive" guide as to when Planning Permission and Building Regulations approvals are required for alterations, extensions etc.

### [Competent Persons Register](#)

Competent Person Schemes (CPS) were introduced by the UK Government to allow individuals and enterprises to self-certify that their work complies with the Building Regulations as an alternative to submitting a building notice or using an approved inspector. A Competent Person must be registered with a scheme that has been approved by The Department for Communities and Local Government (DCLG). Schemes authorised by the DCLG are listed on its website at <http://www.communities.gov.uk>

### [The Property Care Association](#)

The PCA is the trade association representing structural repair, timber, damp and waterproofing specialists across the United Kingdom. Members of the PCA can be trusted to rectify problems with affected buildings, by employing industry certified surveyors and technicians to uphold challenging standards.

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## G. Glossary

We try to avoid using technical building jargon in our Survey Reports, at least without an explanation as to what a term may mean, but if there is something you don't understand you may find it here:

[https://www.edwardsgenesis.co.uk/attachments/Common\\_Building\\_Terms.pdf](https://www.edwardsgenesis.co.uk/attachments/Common_Building_Terms.pdf)

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## H. Maintenance notes

### General Matters

We have prepared these notes as a guide to help you plan for routine maintenance and also to enable you to inspect your new home from time to time so that you can identify areas where expenditure may be required on repair works. You should remember that all building materials deteriorate with time and even the most modern property will require repair in the future. Regular maintenance inspections will help identify repair liabilities at an early stage so that they can be dealt with before they become serious or result in additional defects requiring more expensive and disruptive remedial works. Furthermore, a well-maintained house can be expected to preserve its value and saleability whereas a neglected property could prove difficult to sell.

The list of items to be checked is not intended to be exhaustive but our aim is to highlight some of the more common areas where domestic buildings (although the same principles apply to many commercial buildings) may require periodic maintenance. Some of the inspection and repair works can be carried out on a DIY basis but you should never compromise your own safety in attempting to undertake repairs and a competent building contractor should be employed if you are in any doubt. If you notice any apparently serious items of disrepair – such as cracking, timber decay or severe dampness – professional advice should be sought immediately from a Chartered Surveyor, and we would be pleased to assist.

### The Local Environment

The orientation of a property (i.e. the way it faces) and its resultant exposure to wind, rain, frost and sunlight can result in some parts of the building weathering and deteriorating in a different way due to different climatic conditions; or the same materials will deteriorate at different rates depending upon their position on the building and their exposure to the elements. For example, the prevailing winds in the British Isles are generally from the south west and tend to be relatively warm and wet. These winds are more likely to result in south and west facing parts of a building being facing wind-blown rain over long periods to the extent that they will generally weather more quickly and can become saturated with resultant risks of damp penetration and timber decay. South facing elevations in particular can suffer damage due to prolonged exposure to sunlight, which can accelerate deterioration of paintwork, joinery and plastic materials, and high temperatures during the summer can cause thermal stresses and cracks in masonry. Winter winds are often from the north and east and tend to be relatively dry but very cold making building elements exposed to these winds more prone to frost damage. The internal areas on the north and east sides of a building will also be more prone to condensation problems. North and east facing parts of a building also tend to become more weather-stained, and moss and lichen growth can flourish on walls and roof areas.

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Local environmental factors can also cause particular problems. Slightly acidic rainfall in industrial areas can accelerate deterioration of some parts of a building fabric, such as pointing to brickwork and some more porous types of sandstone, and properties in coastal areas will be exposed to salt-laden winds, which will tend to accelerate corrosion of any metallic components such as steel lintels. Properties on busy roads may suffer from vehicle splash and this can cause damage to boundary walls and fences, or to lower walls where houses are built flush to the pavement, especially during the winter when roads are “gritted” during freezing weather. Nearby trees and other vegetation will increase routine maintenance liabilities as leaves will block gutters and gulleys, and there is also the possibility of falling branches causing damage, or underground roots damaging drains and foundations.

### **Older Buildings**

It must be appreciated that the structure and fabric of older buildings are unlikely to perform as they would in modern structures. Building Regulations and construction standards are regularly updated and improved and even buildings that are little more than 10 years old will fall below current specifications. If you are purchasing an older property you should be aware that there is likely to have been some deterioration due to weathering of the external parts and everyday occupation of the interior, and that older buildings will generally require more regular maintenance and be less energy efficient so that annual maintenance and running costs will be higher than on a more modern property of similar size. A Building Survey report will consider the condition and performance of a building in relation to its peers but will also note areas where it may be reasonably possible to improve the building’s performance.

### **Extensions and Alterations**

If you are proposing to extend or alter your new home you should ensure that any necessary Local Authority planning permission and/or Building Regulations approvals or other statutory consents are obtained. Not all works will require such approvals, but a failure to obtain appropriate consents may cause you problems if you wish to sell the property in the future or want to raise mortgage finance using the property as security.

<http://www.planningportal.gov.uk> is a useful way to check whether the works you are planning may require approvals, and the Local Authority will also offer advice.

### **Hazardous Materials**

If you discover suspected hazardous or toxic materials, such as asbestos, during extension, alteration or other building works you should seek appropriate specialist advice.

### **Maintenance Inspection Notes**

#### **A. External**

##### **1. Roofs and other high-level areas**

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A periodic check should be made to ensure that all tiles and slates are in sound condition, particularly after periods of high wind or heavy snow. Any cracked, damaged, missing or dislodged slates/tiles should be replaced by a competent contractor. Ridge and hip tiles will require periodic lifting and re-bedding and the verge pointing to roof edges should be checked and kept in sound condition.

On flat roofs, any reflective limestone chippings should be kept evenly laid with additional chippings applied from time to time to replace those washed away. Alternatively, roof surfaces should be treated periodically with a proprietary solar reflecting paint. Flat roof areas should be regularly cleaned of leaves, moss and other debris. The most common flat roof covering in domestic construction is mineral felt which does have a limited life, rarely much in excess of 10/15 years. Minor splits and blisters can usually be patch repaired but more serious areas of damage, probably allowing rainwater penetration, will mean that the roof will require stripping and recovering immediately.

Masonry and pointing to chimney stacks should be kept in sound condition to reduce the risk of damp penetration. Chimney pots, cowls or terminals should be checked from time to time to ensure that they are securely fixed. Leadwork and flashings, including those to valley/parapet gutters etc., will also need to be checked as part of routine maintenance and repaired/replaced if any damage or perforation is evident. Any high-level areas that cannot easily be seen from ground level will need to be safely accessed from time to time so that they can be checked for early signs of disrepair and repaired as necessary to ensure weathertightness.

## **2. Rainwater Goods and Wastepipes**

Gutters should be kept to an even fall and will require regular cleaning of leaves, silt, moss and other debris; and any leaking joints should be sealed. Gullies should also be kept clear of obstruction. Failure to ensure efficient disposal of rainwater over a long period can result in damp staining and deterioration to external parts of the building, and damp penetration to the interior with resultant damage to decorations, failure of plasterwork and the potential for outbreaks of wet or dry rot. Some rain and waste water components can be regularly painted to protect them from the elements but many of the materials used particularly cast iron, asbestos, cement and timber, do have a limited life and such components will require replacement from time to time. Any rain and waste water gullies noted to be cracked should be replaced immediately.

## **3. Main Walls**

The outside walls should be inspected from time to time. Any evidence of significant cracking, leaning or distortion of the elevations should be referred immediately to a Chartered Surveyor. Brickwork, stonework and pointing etc. should all be maintained in good condition. Badly perished or weathered individual bricks or stones will require cutting out and replacing. The cement mortar to brick and stone joints (pointing) must be kept in sound condition with any

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heavily weathered, perished and broken areas raked out and renewed. Inadequately maintained pointing can result in a rapid deterioration of brickwork and stonework and can also allow damp penetration. However, care should be taken when repointing walls to ensure that the correct type of mortar mix is used – many walls are repointed with a hard sand and cement mortar which offers little flexibility and this can result in cracks developing due to thermal and moisture movements in the masonry. Hard mortars also restrict the ability of a wall to “breathe” and the masonry may remain saturated for longer than should be the case with resultant deterioration of the brick or stonework and an increased risk of damp penetration and/or internal condensation problems on solid walls.

Where walls are rendered, the rendering should be checked periodically to ensure that it is sound and not breaking away from the surface behind. Any badly hollow, loose or cracked areas will require cutting out and replacing. Cement renders should be regularly brushed and then repainted to maintain them in good condition and to improve their appearance but care is required in the selection of decorative finishes for older types of render as the inappropriate use of modern “plastic” paints as opposed to traditional porous lime washes will prevent the render “breathing” (see above).

The joints between window and door frames and surrounding masonry should be kept watertight with cracked or perished mastic sealants or rotten timber beadings replaced when necessary. Similarly, the areas around wastepipes outlets should be kept watertight using cement.

Paving, flower beds etc. should be kept at least 150mm (6”) below the line of the damp proof course and paving should, where possible, be laid to drain water away from the bases of walls. Where the elevations incorporate sub-floor air bricks, these should be kept in good condition and should not be allowed to become obstructed by raised paving, flowerbeds, overgrown shrubbery etc; otherwise lack of air circulation beneath the floors may result in rot developing.

#### **4. External Joinery and Glazed Areas**

All external joinery should be kept in good decorative order to reduce the risk of early deterioration and also to preserve the appearance of your house. Joinery in exposed positions (for example on dormer structures and around roof perimeters) will require periodical close examination with any deteriorating sections being cut out and replaced. Window and door frames etc. should also be checked from time to time and probed with a sharp implement, such as a penknife, to check for the early stages of softening and decay. Such areas should be cut out and filled or spliced with new, preservative treated sections.

The operation of doors and window lights should be checked regularly. Any components found to be stiff or sticking should be eased by a competent joiner. Poorly fitting doors or window sashes should be re-hung and adequate draught-proofing provided. If there are old sash

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windows to the property, worn sash cords will require replacement from time to time. Window catches and locks should be kept in sound and secure condition. Any broken or cracked panes of glass and defective sealed double glazed units should be replaced.

## 5. Garden Areas and Outbuildings

All boundary walls, fences, gates etc. should be kept in sound condition bearing in mind that the householder will have legal liabilities if boundary walls are allowed to collapse onto public highways or third party land, or cause damage to property or injury to pedestrians or vehicles. Trees should be pruned on a regular basis by a suitable specialist contractor and climbing plants should not be allowed to grow too vigorously up outside walls. **Trees may be subject to Preservation Orders, in which case it is a criminal offence to undertake virtually any type of pruning etc. without Local Authority consent.**

Paths and driveways should be checked from time to time with any deteriorated areas broken up and re-laid as necessary. Outbuildings should be inspected and maintained as for the main house.

## B. Internal

### 1. Roof Spaces

If you are able to do safely, an inspection of the loft areas should be made on at least an annual basis with a check made for any evidence of damp penetration through the roof covering or around chimneys etc. Any required repairs should be undertaken immediately as persistent rainwater ingress will lead to timber decay and damage to first floor ceilings etc. The roof timbers should be examined to check that they have not split and also for any evidence of beetle infestation (woodworm). If you are in any doubt, consult a Chartered Surveyor or a firm of timber specialists.

The brickwork to chimney breasts within the roof void should be checked with any cracked or loose areas made good by a competent builder.

Insulation should be kept evenly dressed over the ceiling areas and you should avoid covering electrical cable and fittings to avoid the risk of overheating and fire. If you find evidence of condensation and/or mould growth in the loft space during cold weather you will need to have the area provided with appropriate ventilation.

If any water storage tanks are located in the loft, check these for signs of leakage and ensure that they are adequately lagged. Make sure that overflow pipes have not worked loose.

### 2. Walls and Ceilings

Wall and ceiling surfaces should be redecorated on a regular basis. As part of these works, any loose or cracked areas of plasterwork found should be cut out and made good. If you notice

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any cracks showing through wallpaper decorations or any damp patches developing to walls and ceilings, consult a Chartered Surveyor.

### 3. Internal Joinery

Internal doors etc. should be kept in sound operative order with any which stick within their frames being eased. Hinges and handles should be lubricated from time to time. All skirting boards and door casings should be kept in good decorative condition. If you notice any decay to internal joinery, consult a Chartered Surveyor or a firm of timber specialists. Stair treads, handrails and balustrades should be kept in good condition so that they are safe to use.

### 4. Floors

Whenever carpets are lifted floor areas, particularly those of timber construction, should be checked. If there is any evidence of cracking or dampness in solid floors, or dampness, decay or beetle infestation in timber floors, consult a Chartered Surveyor or a firm of timber specialists immediately. If your house has a suspended timber ground floor and there is a means of access to the underside, the sub-floor void should be inspected on at least a biennial basis to ensure that the floor remains in sound condition and free from dampness, decay or beetle infestation. If there is no means of access but refurbishment or redecoration present an opportunity to lift some boards to timber ground floors then this should be done so that conditions in the sub-floor void can be checked. Sub-floor air vents can be cleaned of dust and dirt whenever there is access beneath the floors.

### 5. Services Installations

Plumbing pipework should be kept in good condition with any leaking joints sealed. Waste traps to baths, sinks and wash basins should be cleaned out from time to time. Dripping taps should be repaired by replacing perished washers.

The central heating boiler and gas appliances should be regularly serviced by a Gas Safe registered contractor.

The electrical installation should be tested by an NICEIC or similarly qualified electrician at least every 5 years as cables and fittings will deteriorate with age. In the event of any short circuits occurring or if electric shocks are received when operating light switches or sockets etc. specialist advice should be sought immediately.

If reasonably possible you should lift any drainage manhole covers within the garden areas from time to time to check that rain and waste water flow freely through the drainage systems. Any debris within the drainage chambers should be cleaned out with the chambers disinfected as necessary. Manhole covers should be kept in good order with any cracked, poorly fitting or badly rusted components replaced. Where drainage is to a septic tank, this should be emptied

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every 12-24 months to allow for the sludge which forms at the bottom of the tank to be removed.